

1.6 ACRES

HIGHLAND COMMONS

2412 Alexandria Pike | Highland Heights, Kentucky 41076



AVAILABLE FOR DEVELOPMENT

1.67± ACRES

SIGNALIZED U.S. 27 LOCATION

PROPERTY HIGHLIGHTS

- Current concept supports up to approximately 9,600 SF.
- Proposed shared access at an established traffic signal.
- 14,916 VPD on Alexandria Pike at the site.
- Directly across from Lowe's-anchored retail.
- Adjacent to a new 20,075 SF VA outpatient clinic.
- Two minutes from Northern Kentucky University.

RETAIL | RESTAURANT | SERVICE

Flexible commercial positioning

UP TO ±9,600 SF

CURRENT CONCEPT

14,916 VPD

ALEXANDRIA PIKE

46,327 VPD

I-471

141,972

12-MINUTE POPULATION

\$118,938

12-MINUTE AVG. HHI

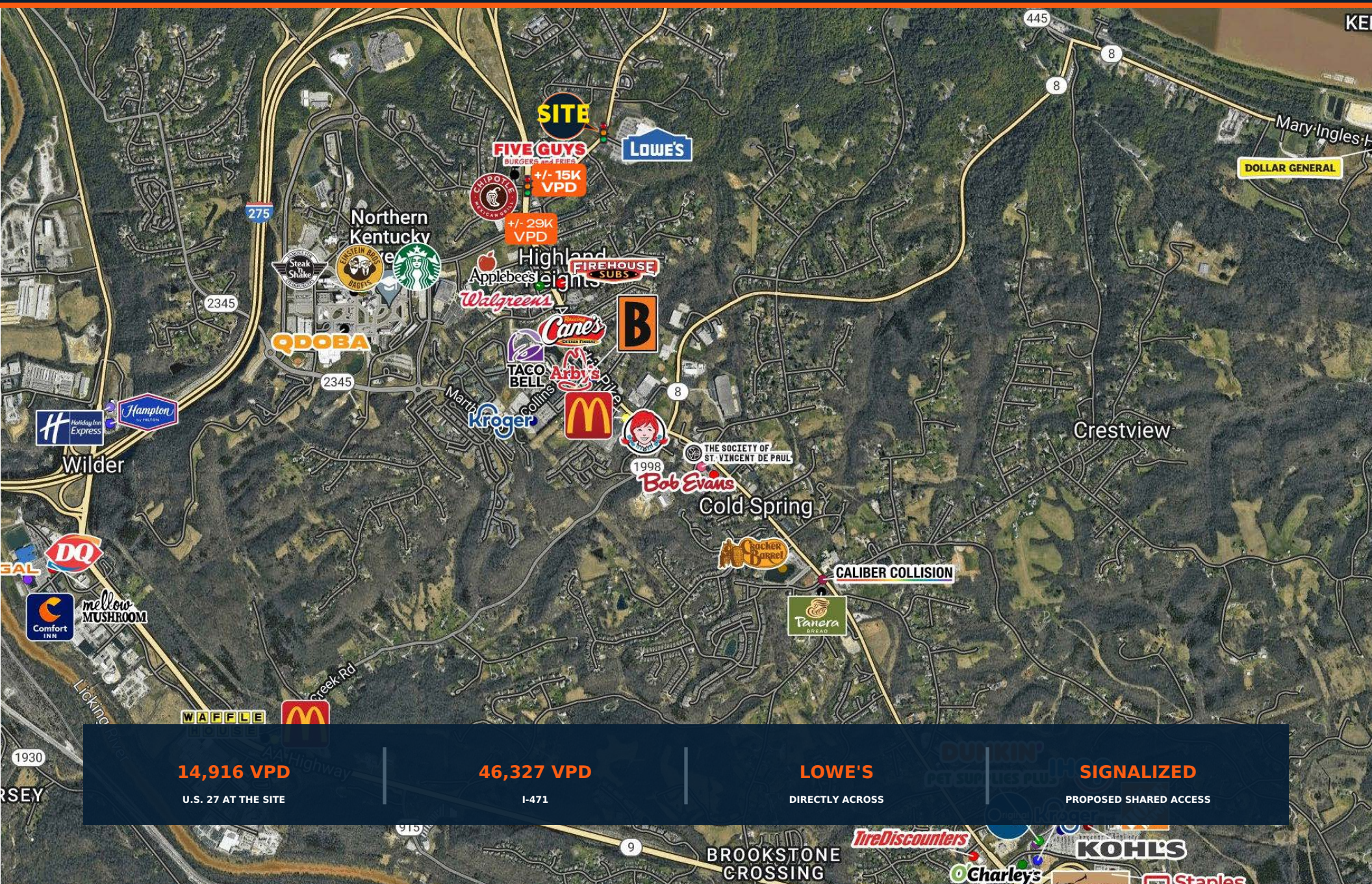
Traffic, Access & Co-Tenancy

A visible U.S. 27 position supported by retail, healthcare, university and commuter traffic.



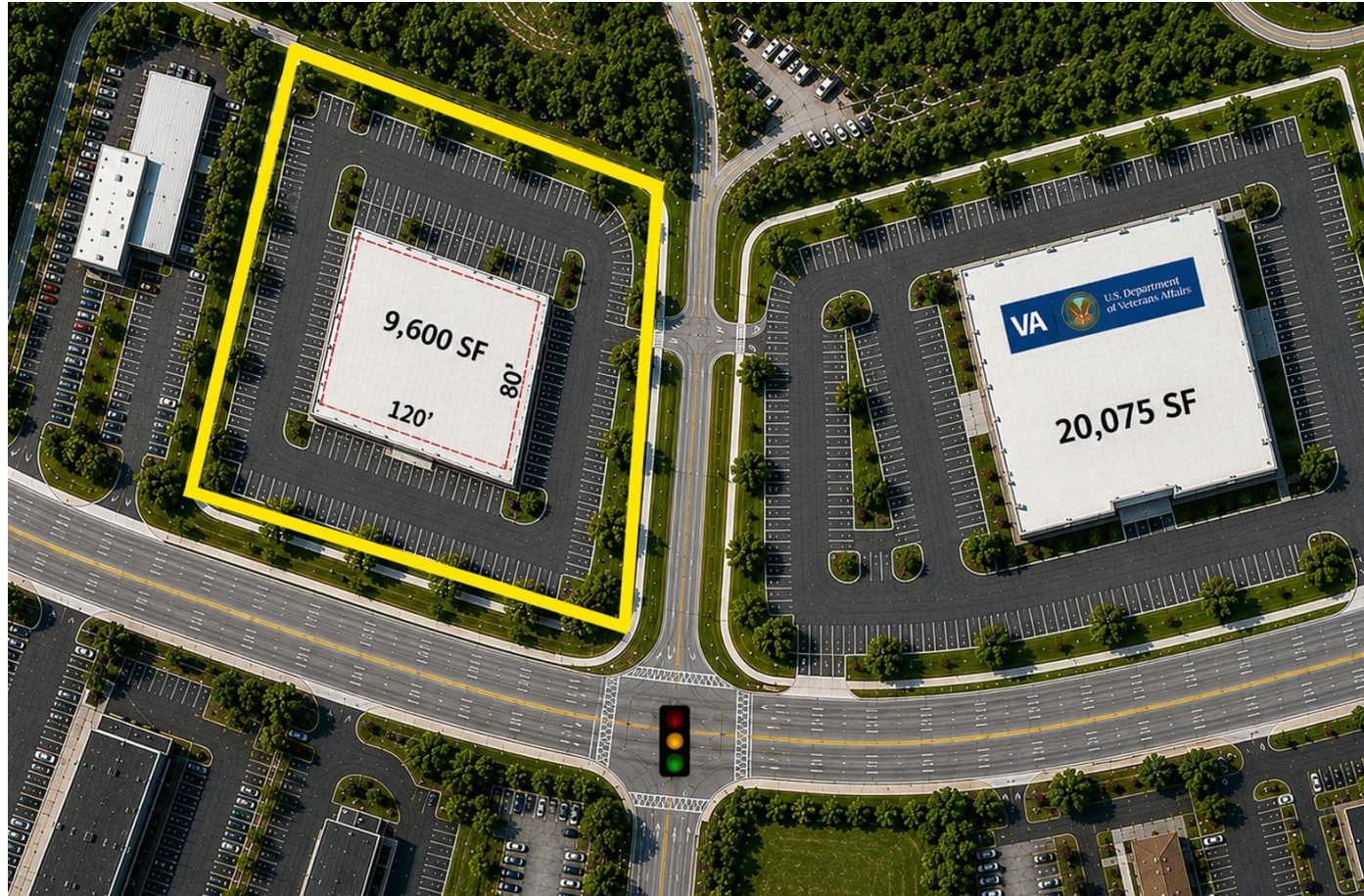
Traffic, Access & Co-Tenancy

A visible U.S. 27 position supported by retail, healthcare, university and commuter traffic.



Site Plan & Retail User Profiles

A flexible commercial concept positioned beside the new VA clinic and across from Lowe's.



CURRENT CONCEPT

UP TO ±9,600 SF

RETAIL POSITIONING

±9,600 SF

FLEXIBLE COMMERCIAL CONCEPT

The concept can support a focused single-user or multi-tenant commercial program, subject to final design and governmental approvals.

POTENTIAL USERS

FAST CASUAL

COFFEE

FINANCIAL

PHARMACY

WELLNESS

PERSONAL CARE

SPECIALTY RETAIL

DENTAL / ORTHO

SERVICE RETAIL

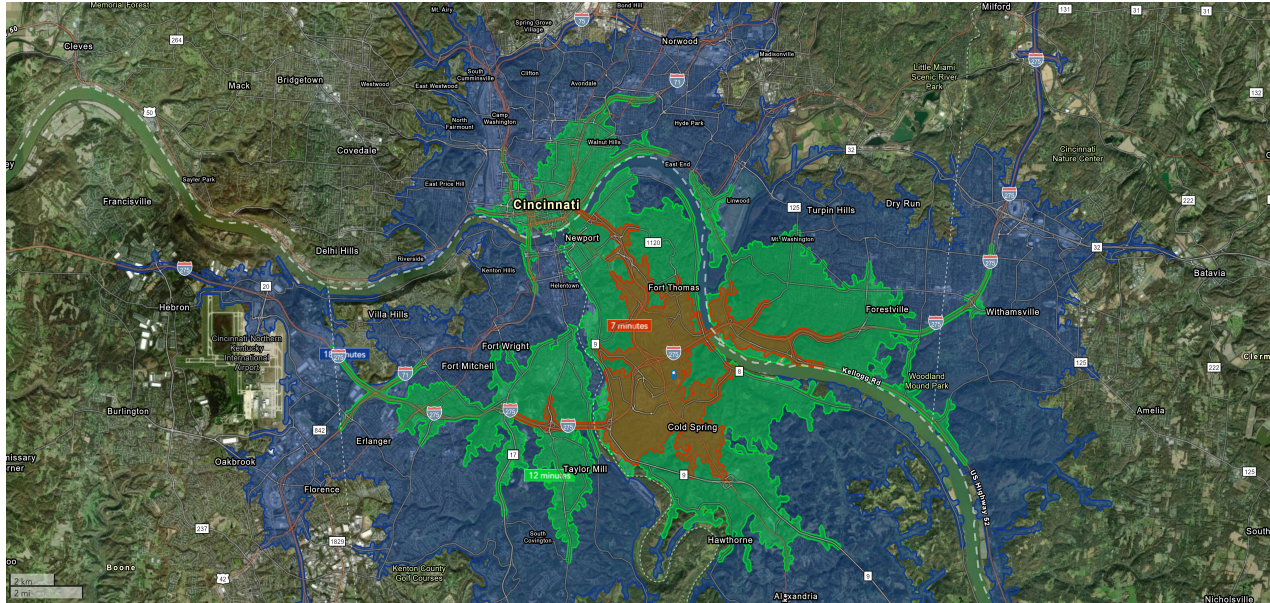
FITNESS / STUDIO

CONCEPTUAL PLAN

Building size, parking, access and circulation are conceptual and remain subject to zoning, entitlements, engineering, agency approvals and the selected user's final program.

Demographics & Location Drivers

A broad customer base with strong incomes, regional connectivity and recurring daily activity.



12-MINUTE TRADE AREA

141,972 PEOPLE

2026 estimated population

66,515

HOUSEHOLDS

\$118,938

AVG. HOUSEHOLD INCOME

37.6

MEDIAN AGE

15,100+

NKU STUDENTS

Source: Esri 2026 drive-time profile

01

Retail Co-Tenancy

Lowes's-anchored retail and national brands directly across Alexandria Pike.

02

Healthcare Visits

A new 20,075 SF VA clinic immediately adjacent to the development site.

03

University Demand

Northern Kentucky University is approximately two minutes from Highland Commons.

04

Regional Access

Convenient to I-471, I-275, downtown Cincinnati, Lunken and CVG.

Trade-area figures carried forward from the 2026 Highland Commons demographic profile and rounded where noted.



HIGHLAND COMMONS

Position Your Brand on U.S. 27.

A visible, signalized development opportunity positioned across from Lowe's and beside a new federal healthcare anchor.

Patrick Reynolds, CCIM

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[VIEW THE LIVE PROPERTY PAGE](#)

RETAIL + SERVICE DEVELOPMENT OPPORTUNITY

1.67± Acres | Up to ±9,600 SF | Signalized Access | 14,916 VPD

Potential positioning includes fast-casual, coffee, financial services, pharmacy, wellness, personal care, specialty retail, dental / orthodontic, fitness and service retail.

DISCLAIMER

Information contained herein has been obtained from sources deemed reliable but is not guaranteed. All dimensions, traffic counts, demographics, images, plans and concepts are approximate, subject to independent verification and subject to change. Building, parking, access and circulation concepts remain subject to zoning, entitlements, engineering and agency approvals. Ownership and Broker reserve the right to modify terms, reject offers or withdraw the property without notice. Broker represents Ownership.